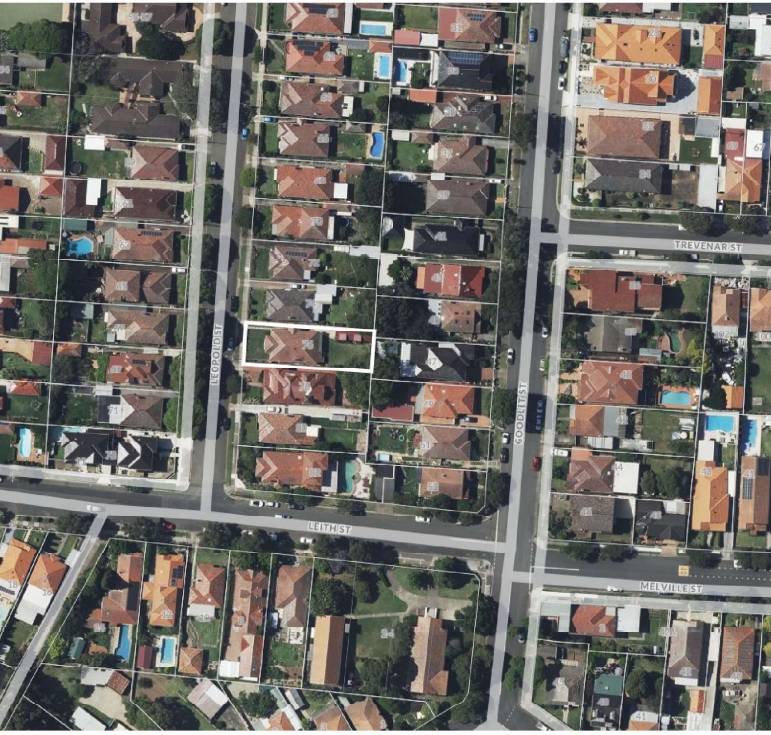


LOT 11 DP16233 NO.76 LEOPOLD ST, ASHBURY  
NSW 2193



SITE LOCATION PLAN  
Source: SIX Maps

DRAWING LIST	
SHEET NUMBER	SHEET NAME
CDC01	COVER SHEET
CDC11	EXISTING/ DEMOLITION
CDC13	GFA CALCULATION
CDC14	SITE PLAN/ SITE ANALYSIS
CDC15	SEDIMENT CONTROL PLAN
CDC16	STORMWATER CONCEPT
CDC31	GROUND FLOOR PLAN
CDC33	ROOF PLAN
CDC41	ELEVATIONS, 1 OF 2
CDC42	ELEVATIONS, 2 OF 2
CDC51	SECTIONS
CDC61	BASIX REQUIREMENTS

AFFORDABLE PLANS

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Mob: 0416 062 155

NOT FOR CONSTRUCTION

REVISION

Issue for CDC 16/02/25 A

ADDRESS

LOT 11 DP16233 NO.76  
LEOPOLD ST, ASHBURY NSW  
2193

CLIENT

PROJECT NO 2025003

PROJECT

PROPOSED ALTERATION AND  
ADDITION

CHK: FF

DSG: FF

DRW: FF

APR: FF

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

7. CONFINED SPACES

EXCAVATION  
Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

6. HAZARDOUS SUBSTANCES

ASBESTOS  
For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: 1990 - it therefore may contain asbestos 1996 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

DRAWING TITLE

COVER SHEET

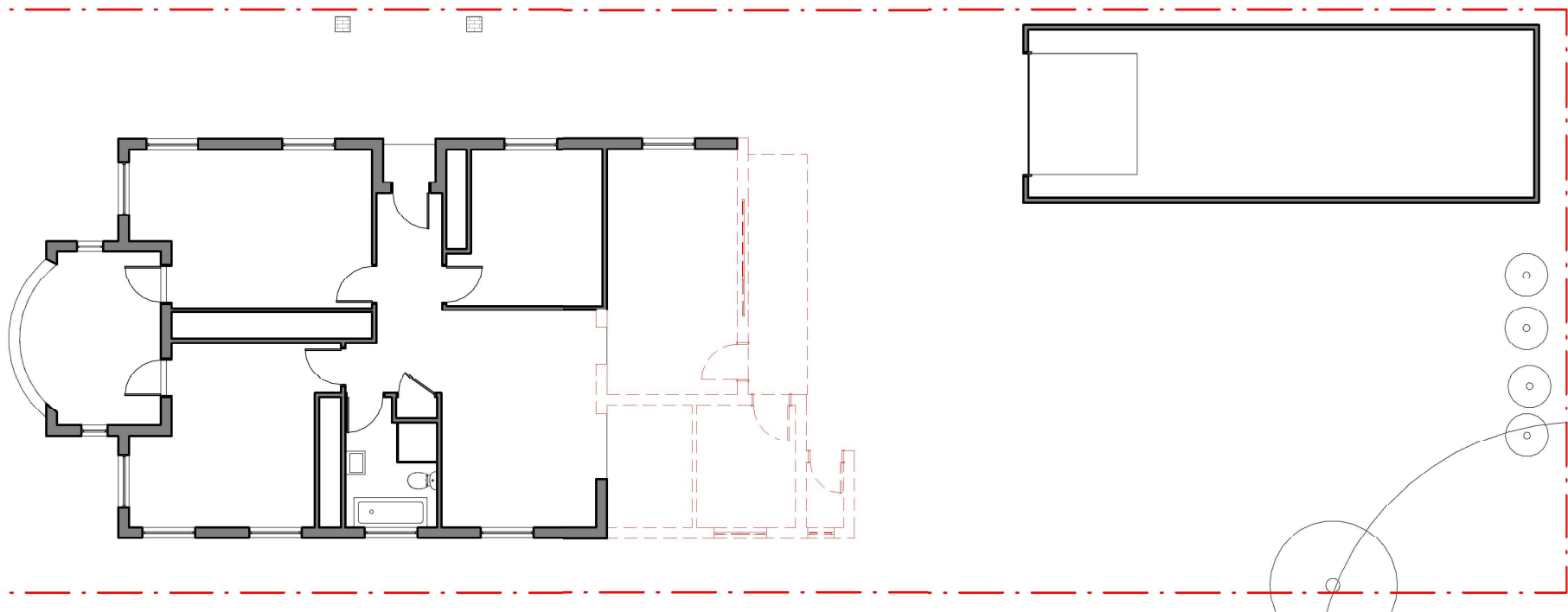
DRAWING NO.

SCALE @ A3: 1 : 1

CDC01



DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS ON ALL DIMENSIONS. NOTES ON ALL PLANS AND COMMENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. ANY BUILDING WORKS ON SITE TO CLIMB ANY ENCUMBRANCES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.



## 1 | EXISTING/ DEMOLITION PLAN

SCALE: 1 : 100

### AFFORDABLE PLANS

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Mob: 0416 052 155

#### REVISION

Issue for CDC

16/02/25 A

#### ADDRESS

LOT 11 DP16233 NO.76  
LEOPOLD ST, ASHBURY NSW  
2193

#### CLIENT

PROJECT NO 2025003

#### PROJECT

PROPOSED ALTERATION AND  
ADDITION

CHK: FF

DSG: FF

DRW: FF

APR: FF

#### DRAWING TITLE

EXISTING/ DEMOLITION

DRAWING NO. SCALE@A3: 1 : 100

# CDC11

0 500 1000 2500 5000  
SCALE: 1:100

DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS NOTED ON ALL PLANS AND CONSULT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL. SITE WORKS GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.

NOT FOR CONSTRUCTION

GFA CALCULATION

SITE AREA: 560sqm

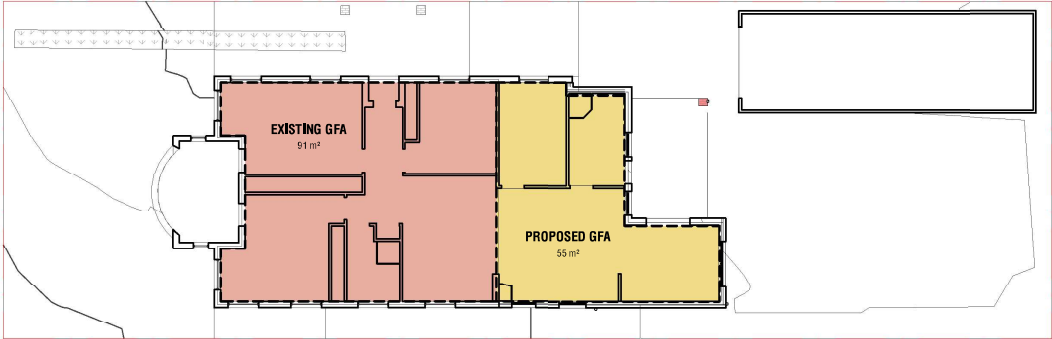
Name	Area	FSR
EXISTING GFA	90.57 m²	0.162
PROPOSED GFA	54.83 m²	0.098
TOTAL GFA	145.40 m²	0.260

NSW STANDARD LEP:

The floor space ratio of buildings on a site is the ratio of the gross floor area of all buildings within the site to the site area

Gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

- (a) the area of a mezzanine, and
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:
- (d) any area for common vertical circulation, such as lifts and stairs, and
- (e) any basement(f) storage, and(i) vehicular access, loading areas, garbage and services, and
- (f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- (g) car parking to meet any requirements of the consent authority (including access to that car parking), and
- (h) any space used for the loading or unloading of goods (including access to (g), and
- (i) terraces and balconies with outer walls less than 1.4 metres high, and
- (j) voids above a floor at the level of a storey or storey above".



1 | GFA DIAGRAM

SCALE: 1 : 200

AFFORDABLE PLANS

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CLIENT

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PROJECT

PROPOSED ALTERATION AND  
ADDITION

CHK: FF DRW: FF

DSG: FF APR: FF

DRAWING TITLE

GFA CALCULATION



DRAWING NO. SCALE@ A3:As indicated

CDC13

DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS NOTED ON ALL PLANS AND COMMENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE. TO CLIMAT; ANY DIMENSIONS SHOWN BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.

NOT FOR CONSTRUCTION

GENERAL NOTE:

IMPORTANT NOTES:

- \* All materials must be in accordance with Australian Standards
- \* All construction must be in accordance with all relative building codes, regulations and Council requirements
- \* Workmanship and methods are to be in accordance with good building practice
- \* Any item not shown on the plans but which is required for proper construction and or finish is to be carried out as part of the contract
- \* Figured dimensions should be taken in preference to scaling off the drawings
- \* Dimensions are in millimetres unless otherwise stated
- \* Do not scale from drawings but refer to measurements shown on drawings
- \* Builder shall check dimensions and levels thoroughly prior to the commencement of work
- \* No fabrication is to occur direct from measurements taken from the drawings
- \* All measurements for the purpose of fabrication and manufacture shall be taken directly from the site as built
- \* Levels shown are diagrammatic only and are to be verified on site
- \* All concrete footings, piers, slabs and steel structures to be designed and certified by a Structural Engineer
- \* Prefabricated roof trusses, wall frames and deep floor joists to be detailed and specified by the manufacturer
- \* New storm water drainage must be directed away from the building via suitable drain pipes and deposited or connected to existing storm water drainage in a location as required by Council
- \* Waterways and watercourses shall not be altered unless permission is granted by Council
- \* Permission must be granted by the Council prior to trees or vegetation removal
- \* In the event of excessive excavation, suitable measures are to be carried out to minimize erosion and siltation of the soil

IMPORTANT NOTES FOR STORMWATER DRAINAGE:

STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH AS43500 AND TO MEET THE CODE OF STANDARDS REQUIREMENT FOR THE DISCHARGE OF WATER.  
ROOF STORMWATER TO BE DRAINED TO STREET KERB AND GUTTER OR DRAINAGE EASEMENT TO EXISTING STORMWATER SYSTEMS BY 100mm PVC PIPES @1.80 FALL.

ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS WHERE APPLICABLE:

DEMOLITION: AS 2601-2001  
CONCRETE SLAB & FOOTING SYSTEM: AS2670  
DAMP PROOF & FLASHINGS: AS2904  
STEEL REINFORCING BARS: AS1302  
WELDED WIRE REINFORCING FABRIC: AS1304  
STEEL STRUCTURES: AS1250  
BRICKWORK: AS3700  
MORTARS & RENDER: AS2427  
FIRE HOSE REELS: AS 2441  
GALVANISING: AS4680 – AS4761 – AS4792  
FORMWORK: AS1606/AS1610  
STRUCTURAL STEEL: AS4100  
TIMBER FRAME: AS1684  
TREATED TIMBERS: AS1604  
TIMBER STRUCTURES: AS1720  
HANDRAILS: AS1170  
PLASTIC ROOF & WALL CLADDING: AS4256  
PLASTERBOARD: AS2589  
ROOFING: AS1592  
ROOF TILES: AS2049 – AS2050  
REFLECTIVE FOIL: AS4200  
CORRUGATED: AS 2906  
GLAZING: AS 1288  
SANITARY SEAL: AS3500  
WATER: AS3500  
GAS: AG 801  
ELECTRICAL: AS3000  
STAIRS: AS1428  
LIFT/EL: AS/NZS2699  
SUSPENDED CEILING: AS2785  
FLOORING: AS1782  
VENTILATION, EXHAUST SYST: AS1698  
WINDOWS ALUMINIUM: AS2047  
TIMBER WINDOWS: AS2047  
DOORS: AS2588  
GARAGE DOOR: AS/NZS 4505  
DPC & FLASHINGS: AS2904  
STORMWATER: AS3500  
HOT WATER SYSTEMS: AS3500  
All Hot Water System must be to a minimum 3.5 star rating and meet SEDA's Greenhouse ratings  
All bathroom/kitchen taps, showerheads and toilet cisterns must be AAA rated  
As referred to in Council's Energy Smart Water Development Control Plan  
SMOKE ALARM: AS3786 Part 3.7.5 of the NCC  
SUB-FLOORING: AS66  
SWIMMING POOL: AS1926, 1-2012 Note: 1200 High Child Proof Safety Fence & Self Closing, Self Locking Gate  
FIRE AND SMOKE CONTROLS: AS 1968  
EMERGENCY EXIT: AS2959  
BUILDING IN BUSHFIRE AREAS: AS3659  
WATER PROOFING: AS3740  
TILING: AS/NZS3001  
INSULATION: AS2927  
Roof or ceiling area to be insulated to a R3 rating  
ACOUSTIC: AS2021  
FOOD SAFETY: 3.2.2 (Food Premises and Equipment)  
DESIGN, CONSTRUCTION & FIT OUT OF FOOD PREMISES: AS4674-2004  
TERMITES PROTECTION: AS3960  
CHECK FOR THE MOST RECENT BUILDING CODES AT: HYPERLINK "http://www.standards.com.au/"  
WWW.STANDARDS.COM.AU OR PHONE 1300 308 598

- SITE BOUNDARY
- WIND DIRECTION
- PROPOSED BUILDING
- NEIGHBOURHOOD PROPERTIES
- PRIVATE OPEN SPACE
- VEHICULAR ACCESS
- DRIVEWAY ACCESS

NOISE  
LEOPOLD  
TOP OF KERB RL: 27.12 (AHD)  
STREET  
NOISE

1 | SITE PLAN

SCALE: 1:200

IMPORTANT NOTES FOR STORMWATER DRAINAGE:

STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH AS43500, 3.2 PART III AND TO MEET THE CODE OF STANDARDS REQUIREMENT FOR DISCHARGE OF WATER.  
ROOF STORMWATER TO BE DRAINED TO STREET KERB AND GUTTER OR DRAINAGE EASEMENT TO EXISTING STORMWATER SYSTEMS BY 100mm PVC PIPES @1.80 FALL.

AFFORDABLE PLANS

EDIE BOYACIOGLU  
Architectural Draftsman  
Director/Building Designer  
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NOT FOR CONSTRUCTION

REVISION

Issue for CDC

16/02/25 A

ADDRESS

LOT 11 DP16233 NO.76  
LEOPOLD ST, ASHBURY NSW  
2193

CLIENT

PROJECT NO 2025003

PROJECT

PROPOSED ALTERATION AND  
ADDITION

CHK: FF

DSG: FF

DRW: FF

APR: FF

DRAWING TITLE

SITE PLAN/ SITE ANALYSIS

0 500 1000 2500 5000  
SCALE: 1:100

DRAWING NO.

SCALE@A3As indicated

CDC14

DO NOT SCALE THE DRAWING. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS NOTED ON ALL PLANS AND COMMENT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE TO CLIMB AND DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.



# 1 | SEDIMENT CONTROL

SCALE: 1:200

## AFFORDABLE PLANS

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Architectural Draftsman  
Director/Building Designer  
Email: affordableplans2022@hotmail.com  
Mob: 0416 052 155

NOT FOR CONSTRUCTION

## REVISION

Issue for CDC

16/02/25 A

## ADDRESS

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2193

## CLIENT

PROJECT NO 2025003

## PROJECT

PROPOSED ALTERATION AND  
ADDITION

CHK: FF

DSG: FF

DRW: FF

APR: FF

## DRAWING TITLE

SEDIMENT CONTROL PLAN



## GENERAL NOTES

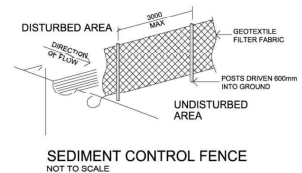
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY CONTRACTOR/SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL STOCKPILES TO BE CLEARED FROM DRAINS, GUTTERS AND FOOTPATHS.
4. DRAINAGE IS TO BE CONNECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATH TO BE SWEEP DAILY.
6. UNDER SECTION 16 OF THE CLEAN WATERS ACT HEAVY FINES INCLUDING & S800 ON THE SPOT FINE, MAY BE IMPOSED IF A PERSON ALLOWS SOIL, CEMENT SLURRY OR OTHER BUILDING MATERIALS TO BE PUMPED, DRAINED OR ALLOWED TO ENTER THE STORM WATER SYSTEM.

## SOIL EROSION NOTES

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES, THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE RE-VEGETATED AND STABILISED ONLY. (i.e. ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.

## SEDIMENT NOTES

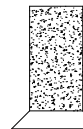
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A MIN LAP OF 150 mm.



PROVISIONAL AREA  
FOR STOCKPILING OF  
MATERIALS



GEOTEXTILE TRADE  
WASTE RECEPTABLE



VC AND STABILISED ENTRY



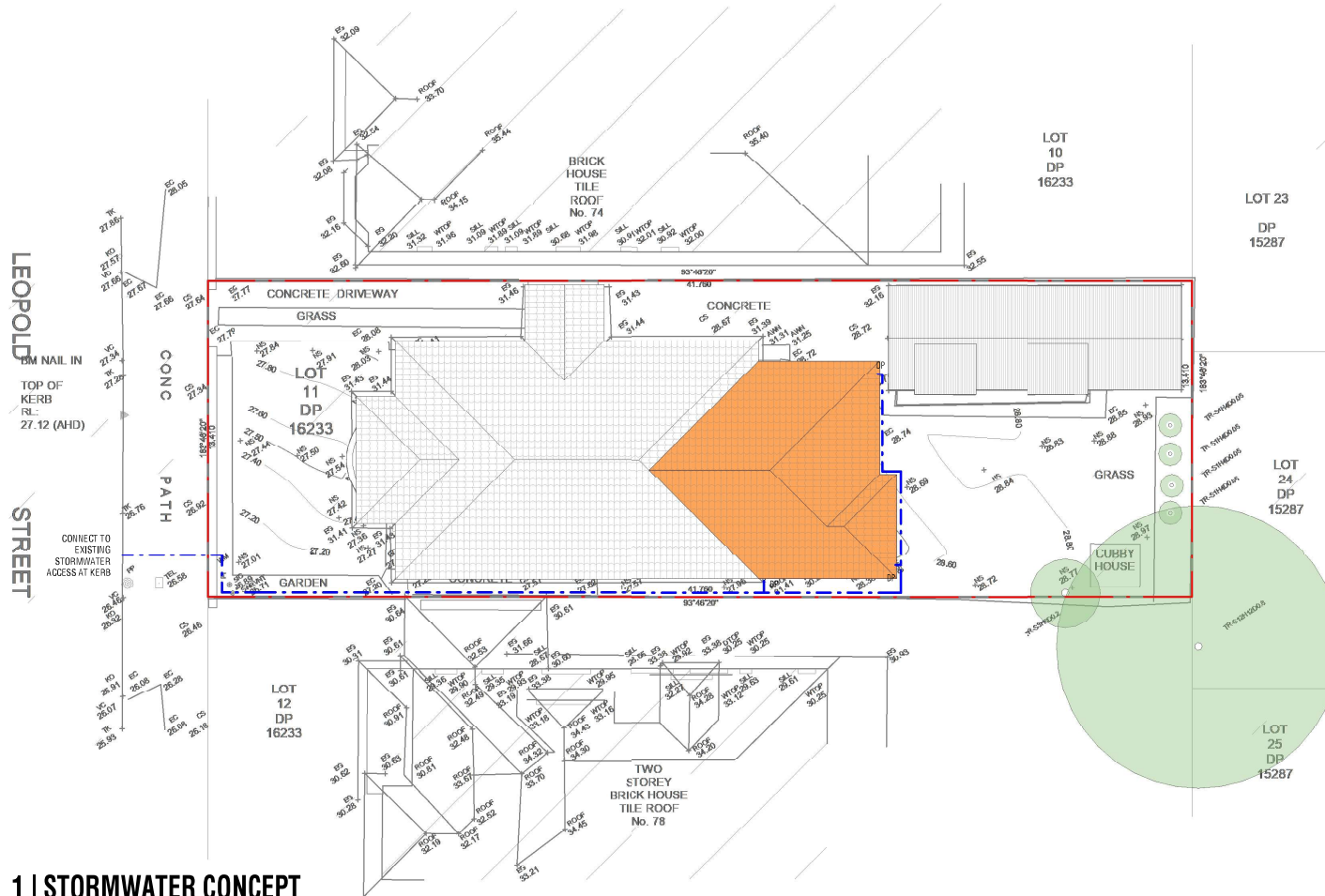
SEDIMENT CONTROL FENCE

## DRAWING NO.

SCALE @ A3As indicated

CDC15

DO NOT SCALE THE DRAWING. READ ALL DIMENSIONS AND SHOW ALL DIMENSIONS. NOTES ON ALL PLANS AND GENERAL DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLANS, DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL. SITE WORKS, GROUND LEVELS, MAY VARY DUE TO SITE CONDITIONS.



# 1 | STORMWATER CONCEPT

SCALE: 1:200

## AFFORDABLE PLANS

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Architectural Draftsman  
Director/Building Designer  
Email: affordableplans2022@hotmail.com  
Mob: 0416 052 155

## REVISION

Issue for CDC

16/02/25 A

## ADDRESS

LOT 11 DP16233 NO.76  
LEOPOLD ST, ASHBURY NSW  
2193

## CLIENT

PROJECT NO 2025003

## PROJECT

PROPOSED ALTERATION AND  
ADDITION

CHK: FF

DSG: FF

DRW: FF

APR: FF

## DRAWING TITLE

STORMWATER CONCEPT

DRAWING NO. SCALE@A3: 1:200

CDC16

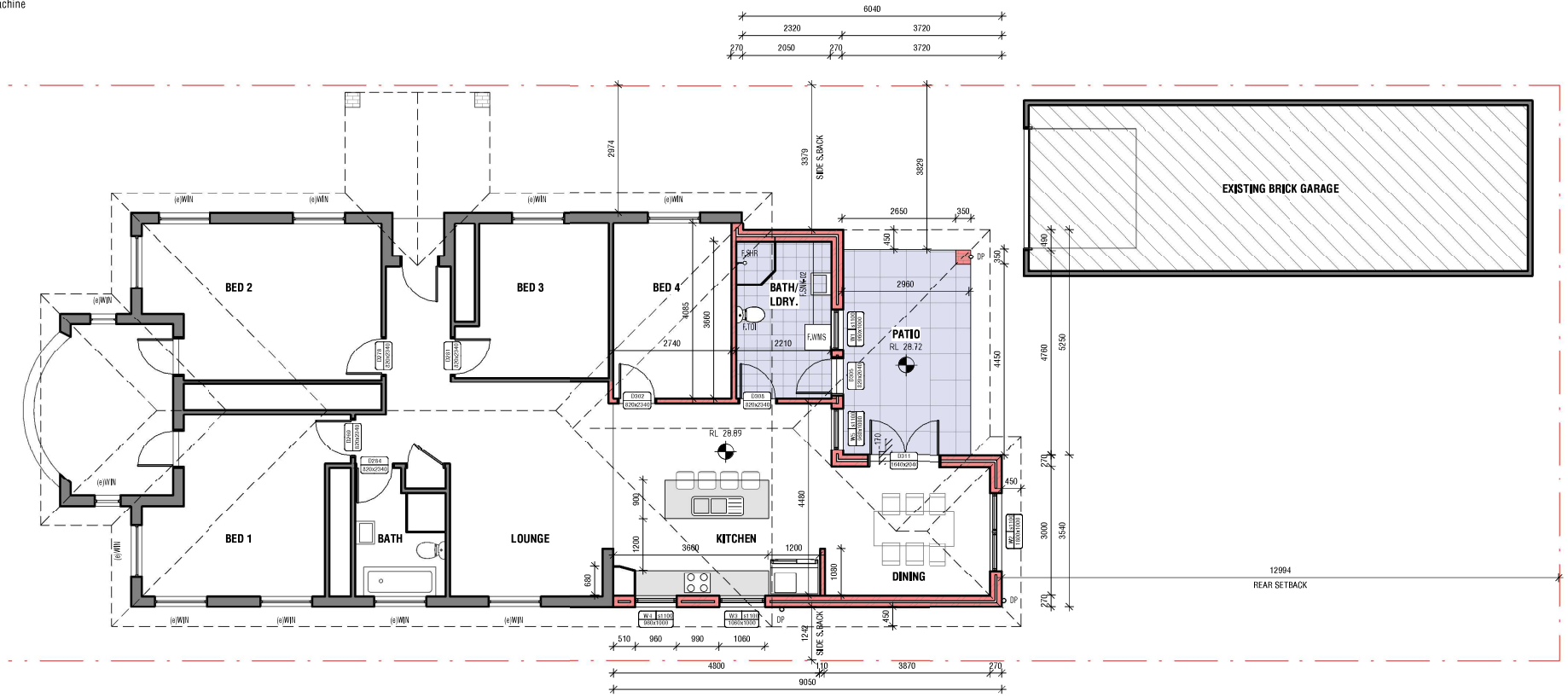


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NOT FOR CONSTRUCTION

CODE LEGEND

CODE	DESCRIPTION
(e)WIN	Existing Window
DP	Downpipe
F.SHR	Shower
F.SNK-Q2	Sink - Basin
F.TOI	Toilet
F.WMS	Washing Machine



1 | GROUND FLOOR

SCALE: 1 : 100

PLAN LEGEND:			
existing work to be retained	(n) brick	(n) tiles/pavers	(n) timber
existing work to be demolished	(n) roof tiles	(n) rendered cladding	(n) steel & galvanized iron
(n) concrete	(n) glass		

AFFORDABLE PLANS

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REVISION

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PROJECT

PROPOSED ALTERATION AND  
ADDITION

CHK: FF

DSG: FF

DRW: FF

APR: FF

DRAWING TITLE

GROUND FLOOR PLAN

DRAWING NO. SCALE@A3: 1 : 100

CDC31

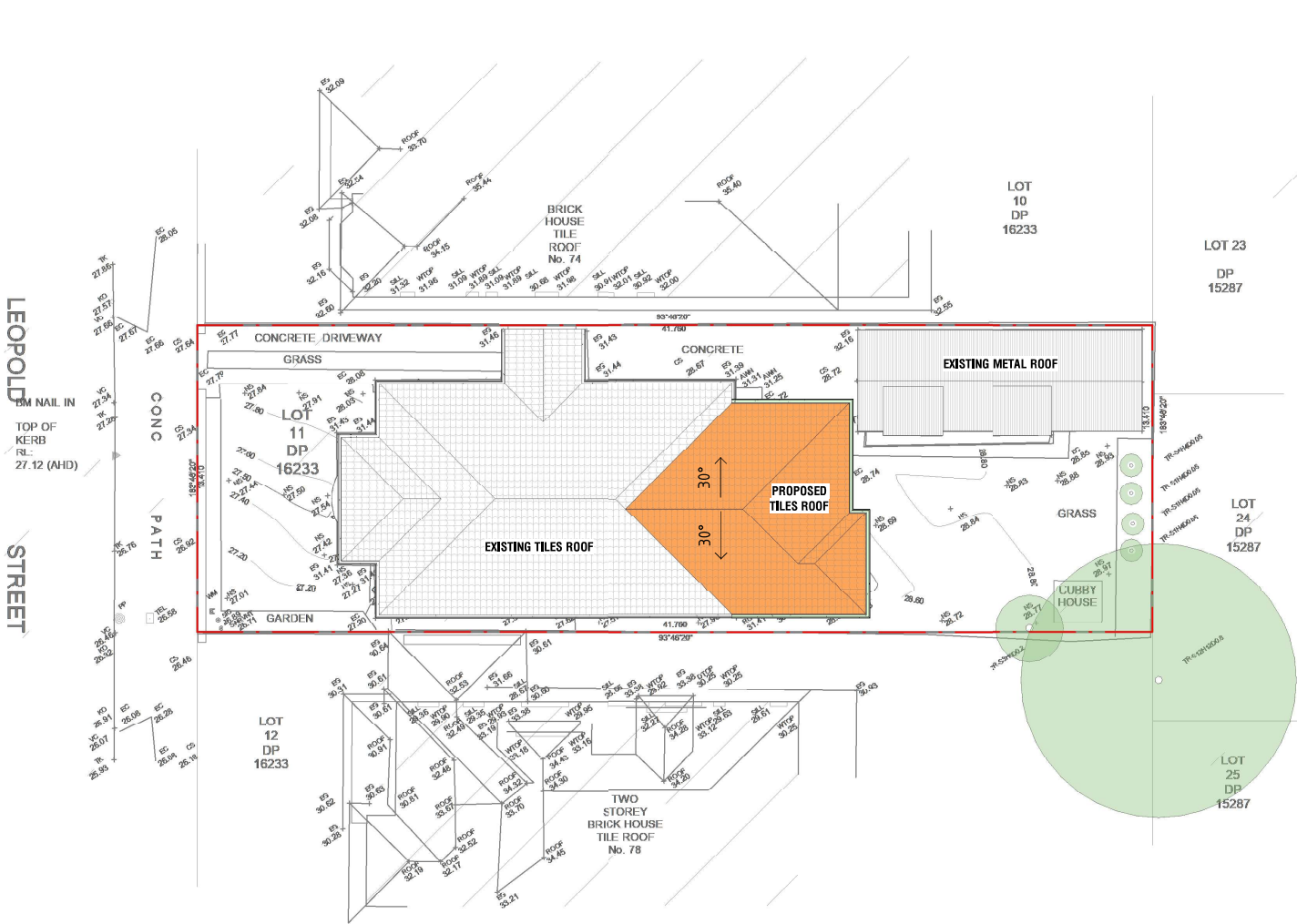


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NOT FOR CONSTRUCTION

CODE LEGEND

CODE DESCRIPTION



1 | ROOF PLAN

SCALE: 1 : 200

AFFORDABLE PLANS

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PROPOSED ALTERATION AND  
ADDITION

CHK: FF

DSG: FF

DRW: FF

APR: FF

DRAWING TITLE

ROOF PLAN

DRAWING NO. SCALE@A3: 1 : 200

CDC33



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NOT FOR CONSTRUCTION



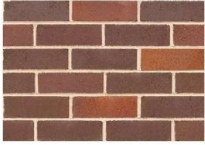
CODE LEGEND

CODE	DESCRIPTION
(e)RTL	Existing Tiled Roof
E.PNX-01	Paint Finish, External
E.PNX-02	Paint Finish, External
E.RMF-01	Glazing Obscure
GLZ-0	Tiled Roof
RTL	Brickwork Wall
WBR	Brickwork Wall



1 | ELEVATION - EAST

SCALE: 1 : 100



CODE: <WBR>  
TYPE/LOC: WALL BRICK  
SPEC./COLOR: Renovation Gertrudis Brown  
FINISH:  
SUPPLIER: CONTRACTOR



CODE: <E.PNX-01>  
TYPE/LOC: WINDOWS FRAME  
SPEC./COLOR: WHITE  
FINISH:  
SUPPLIER: CONTRACTOR



CODE: <E.PNX-02>  
TYPE/LOC: GUTTER/DOWNPipe  
SPEC./COLOR: HERITAGE RED QUAD  
FINISH:  
SUPPLIER: CONTRACTOR



CODE: <E.PNX-02>  
TYPE/LOC: FASCIA  
SPEC./COLOR: WARM NEUTRAL  
FINISH:  
SUPPLIER: DULUX

PLAN LEGEND:

	existing work to be retained		(n) brick		(n) tiles/pavers		(n) timber
	existing work to be demolished		(n) roof tiles		(n) rendered cladding		(n) steel & galvanized iron
	(n) concrete		(n) glass				

AFFORDABLE PLANS

EDIZ BOYACIOGLU  
Architectural Draftsman  
Director/Building Designer  
Email: affordableplans2022@hotmail.com  
Mob: 0416 052 155

REVISION

Issue for CDC 16/02/25 A

ADDRESS

LOT 11 DP16233 NO.76  
LEOPOLD ST, ASHBURY NSW  
2193

CLIENT

PROJECT NO 2025003

PROJECT

PROPOSED ALTERATION AND  
ADDITION

CHK: FF

DSG: FF

DRW: FF

APR: FF

DRAWING TITLE

ELEVATIONS, 1 OF 2

DRAWING NO. SCALE@A3: 1 : 100

CDC41

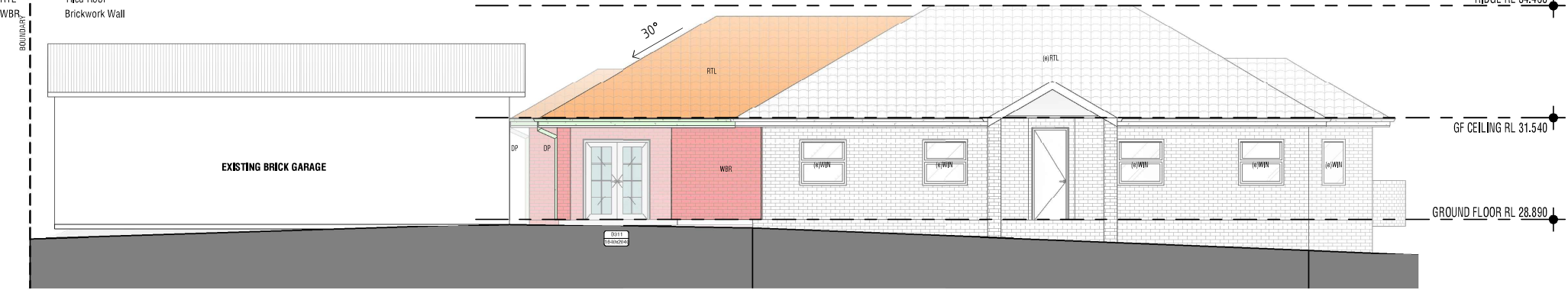
DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS, NOTED ON ALL PLANS AND GENERAL DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE TO CLARIFY ANY DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND SPECIFICATIONS RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.



NOT FOR CONSTRUCTION

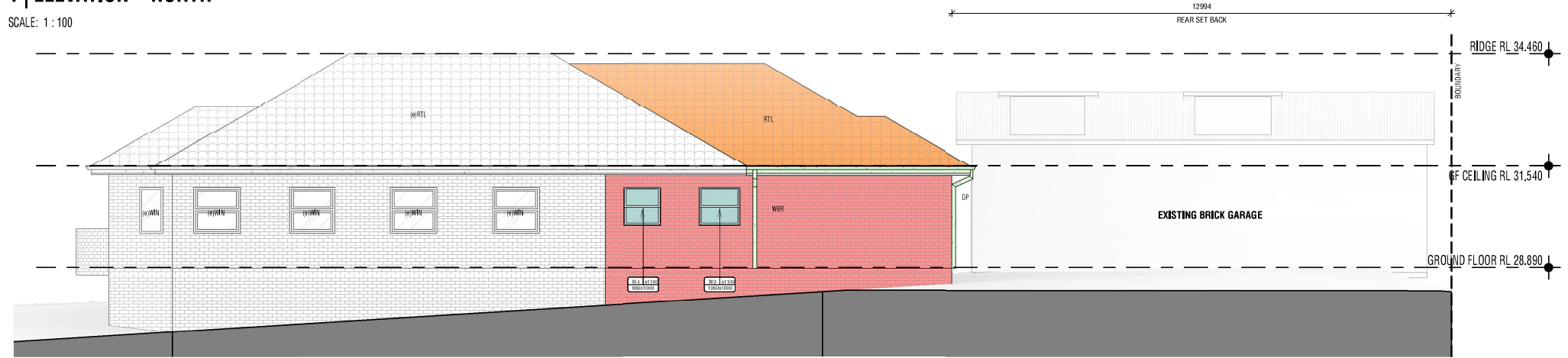
CODE LEGEND

CODE	DESCRIPTION
(e)RTL	Existing Tiled Roof
(e)WIN	Existing Window
DP	Downpipe
RTL	Tiled Roof
WBR	Brickwork Wall



1 | ELEVATION - NORTH

SCALE: 1 : 100



2 | ELEVATION - SOUTH

SCALE: 1 : 100

PLAN LEGEND:

	existing work to be retained		(n) brick		(n) tiles/pavers		(n) timber
	existing work to be demolished		(n) roof tiles		(n) rendered cladding		(n) steel & galvanized iron
			(n) concrete		(n) glass		

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DSG: FF

DRW: FF

APR: FF

DRAWING TITLE

ELEVATIONS, 2 OF 2

DRAWING NO. SCALE@A3: 1 : 100

CDC42

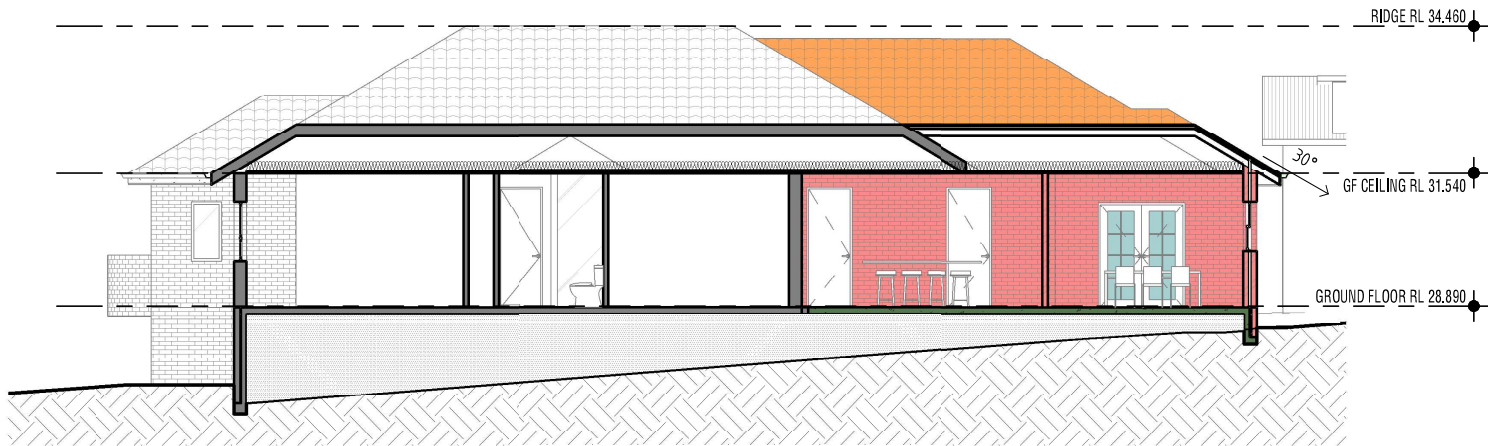


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NOT FOR CONSTRUCTION

WINDOW SCHEDULE

MARK	DIMENSIONS		AREA	ORIENTATION	GLAZING	FRAME
	H	W				
1	1000	960	0.96 m²	East	Clear	Timber
2	1000	1800	1.80 m²	East	Clear	Timber
3	1000	1060	1.06 m²	South	Clear	Timber
4	1000	960	0.96 m²	South	Clear	Timber
5	1000	960	0.96 m²	East	Clear	Timber



1 | SECTION

SCALE: 1 : 100

PLAN LEGEND:			
	existing work to be retained		(n) brick
	existing work to be demolished		(n) roof tiles
	(n) concrete		(n) glass
	(n) tiles/pavers		(n) timber
	(n) rendered cladding		(n) steel & galvanized iron

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ADDITION

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DSG: FF

DRW: FF

APR: FF

DRAWING TITLE

SECTIONS

DRAWING NO. SCALE@A3: 1 : 100

CDC51

DO NOT SCALE THE DRAWINGS. READ ALL DIMENSIONS SHOWN. ALL DIMENSIONS NOTED ON ALL PLANS AND CONSULT DOCUMENTS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO ANY COMMENCEMENT OF ANY BUILDING WORKS ON SITE TO CLIMB AND DISCREPANCIES BETWEEN ALL PLAN DRAWINGS AND DOCUMENTATION RELEVANT TO THE PROPOSAL / SITE WORKS. GROUND LEVELS MAY VARY DUE TO SITE CONDITIONS.



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